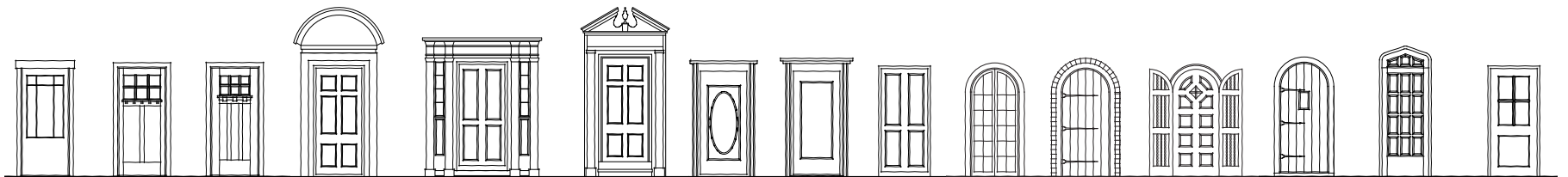


Overton Park

Residential Design Guidelines



Revised April 2006

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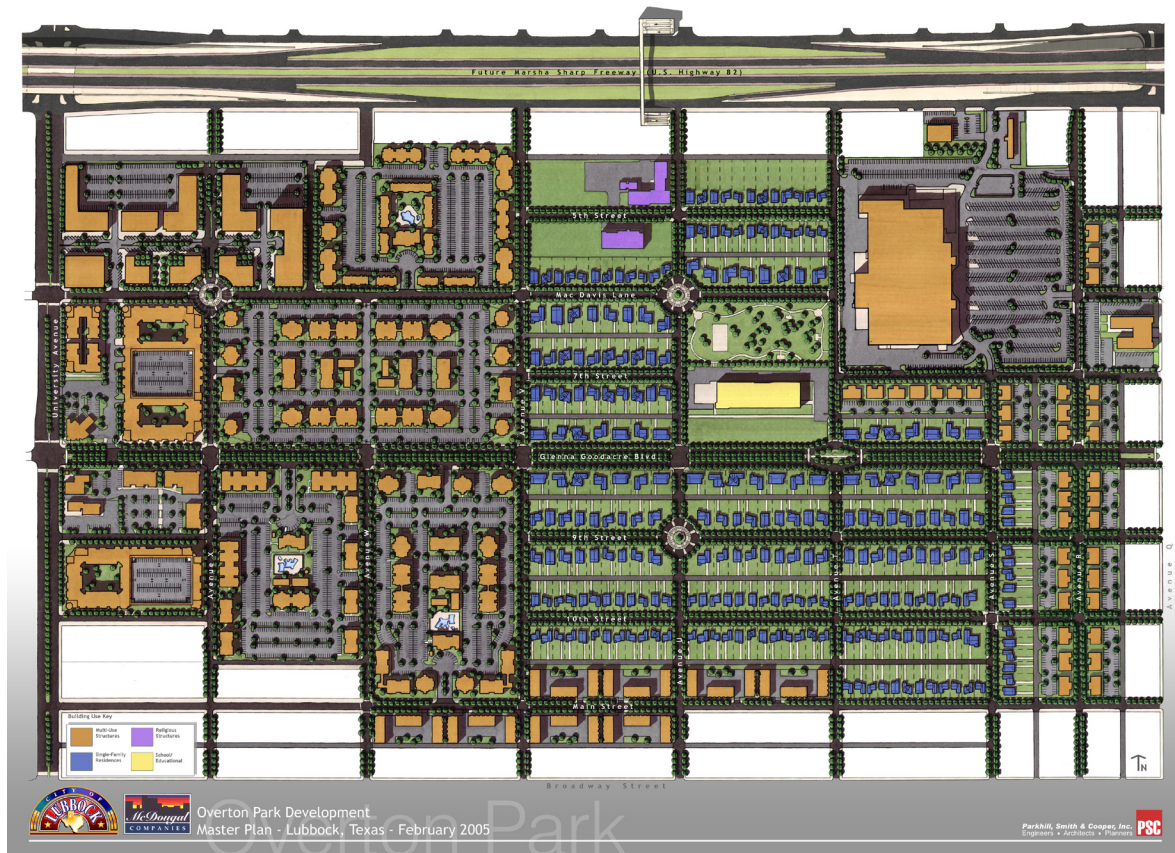
The Overton Park Residential Design Guidelines were adopted by the City of Lubbock in Zone Case 3048-A, Ordinance 2006-00036, on April 13, 2006, and adopted by Deed Restrictions filed in Volume 10483, Page 67, Office Public Records of Lubbock County, Texas.

*This document is not intended for regulatory approval,
permitting, or construction purposes.*
Mary Kelly Crites Reg. #11483

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Introduction

Located in the heart of the city between Texas Tech University and downtown Lubbock, Overton Park offers easy access to schools, churches, recreation and shopping, plus an abundance of activities at the Civic Center, Arts District, Depot Entertainment District, and Texas Tech University. Ramirez Charter School and Pioneer Park, located in the heart of the neighborhood, are open spaces shared by the entire neighborhood. The park provides a central gathering place for all residents to interact and connect as a community. Bike paths located along gateway streets enhance access to these open spaces. Tree lined parkways provide shade for pedestrians, and the Glenna Goodacre Boulevard greenbelt and traffic roundabouts provide additional greenspace within the neighborhood.



Introduction

A mix of activities and a variety of housing types characterize traditional neighborhood developments (TND) such as Overton Park. The neighborhood includes residential uses, public spaces and commercial/retail enterprises. Other TND characteristics shared by Overton Park include an identifiable edge, easy walking distances from residential to other neighborhood uses, and an interconnected network of streets in a grid pattern. Brick paving on some streets further adds to the new-old historic flavor of the area. Conveniently located mailbox areas provide neighborhood gathering places, further enhancing the sense of community.

To accommodate those wishing a choice of housing styles, three housing types will be

offered in Overton Park. Town houses and cottages (also known as garden homes) will be available in addition to single-family detached dwellings. All land area on one side of a street between intersecting streets must be designated for a single housing type.

Historic residential styles that reflect the architectural heritage of Lubbock and the South Plains region have been selected for Overton Park. Owners and builders may choose from five appealing styles for single-family detached houses and cottages:

- Craftsman Bungalow
- Colonial Revival
- Folk Victorian
- Spanish Eclectic
- Tudor Revival



Overton Park

Introduction

Three styles, Colonial Revival, Folk Victorian, and Spanish Eclectic, are designated for townhouse design as well.

These styles were typical of Lubbock neighborhoods from its establishment in 1890 through the 1930's. Their scale and massing are perfect for a traditional neighborhood development with narrow lots and close proximity to the street.

Variety in terms of size, type, and architectural style of the houses will create a visually stimulating and architecturally satisfying environment. Adjacent or facing single-family detached or cottage residences may not have the same elevation so that each home owner is assured of a special, unique residence. However, each townhouse structure

Overtown Park

Residential Design Guidelines



Introduction

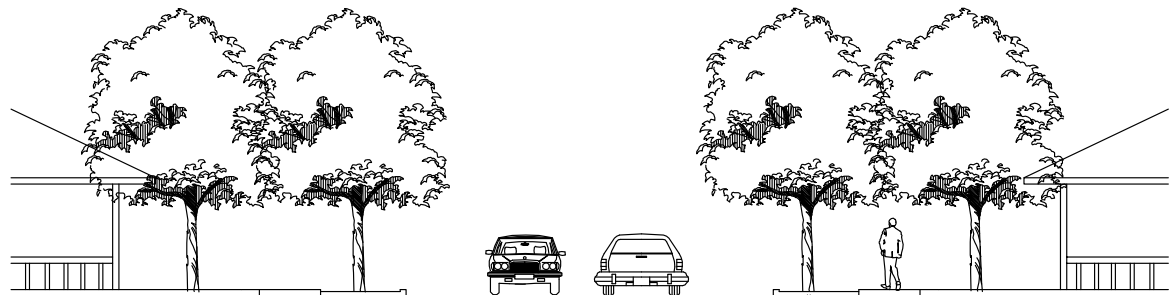
shall be of the same architectural style though each individual residence should be unique through specific detailing.

Residential gardens and backyards, as well as common spaces with generous landscaping and sidewalks, contribute to the project goal of creating an environment that is green and beautiful.

In Overton Park, narrow vehicular lanes with on-street parking characterize residential streets. Parkways allow for wide canopy trees, generous sidewalks encourage pedestrian activity, and shallow, well-landscaped front yards further contribute to the feeling of a cohesive urban residential community, distinguishing the area from a typical suburban development.

Overton Park

Residential Design Guidelines



Typical Street Section

from Overton Park Public Improvements Site Design Guidelines

Introduction

Purpose of Design Standards

These design standards provide direction for home owners, architects, developers and contractors in creating a variety of residences for Overton Park. Replication of historic buildings is not the goal for this development. Instead, creating unique homes built of modern materials and with up-to-date amenities based on historic precedents is the objective. Pleasing proportions, craftsmanship, and harmony of details are attributes that people love in old houses. With attention to detail, nostalgic elements can be unique features in new houses that also offer gourmet kitchens, luxurious bathrooms and modern technology.



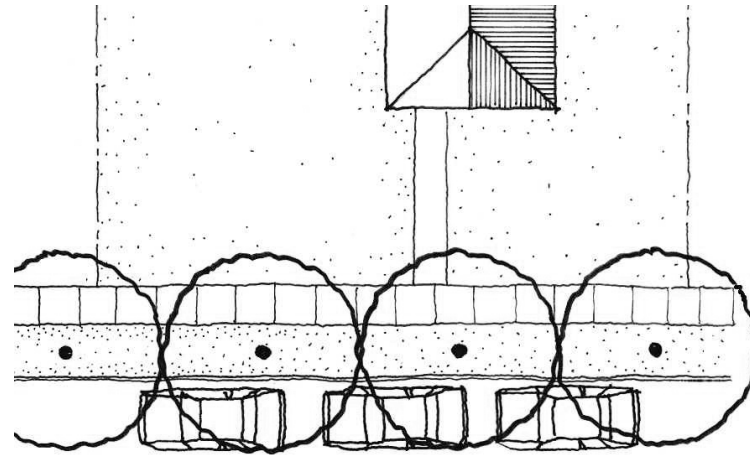
Introduction

Public Improvements

This document provides guidelines for private residential development in Overton Park.

Improvements in the public areas, including right-of-way adjacent to residences, are governed by another document, *Overton Park Public Improvements Site Design Guidelines*.

Sections from the public improvements document are referenced in this document where they refer to improvements that may be privately installed in the public right-of-way. Examples include parkway planting plans and materials and public sidewalks.



Parkway Planting Plan

from *Overton Park Public Improvements Site Design Guidelines*

Plan Review Process

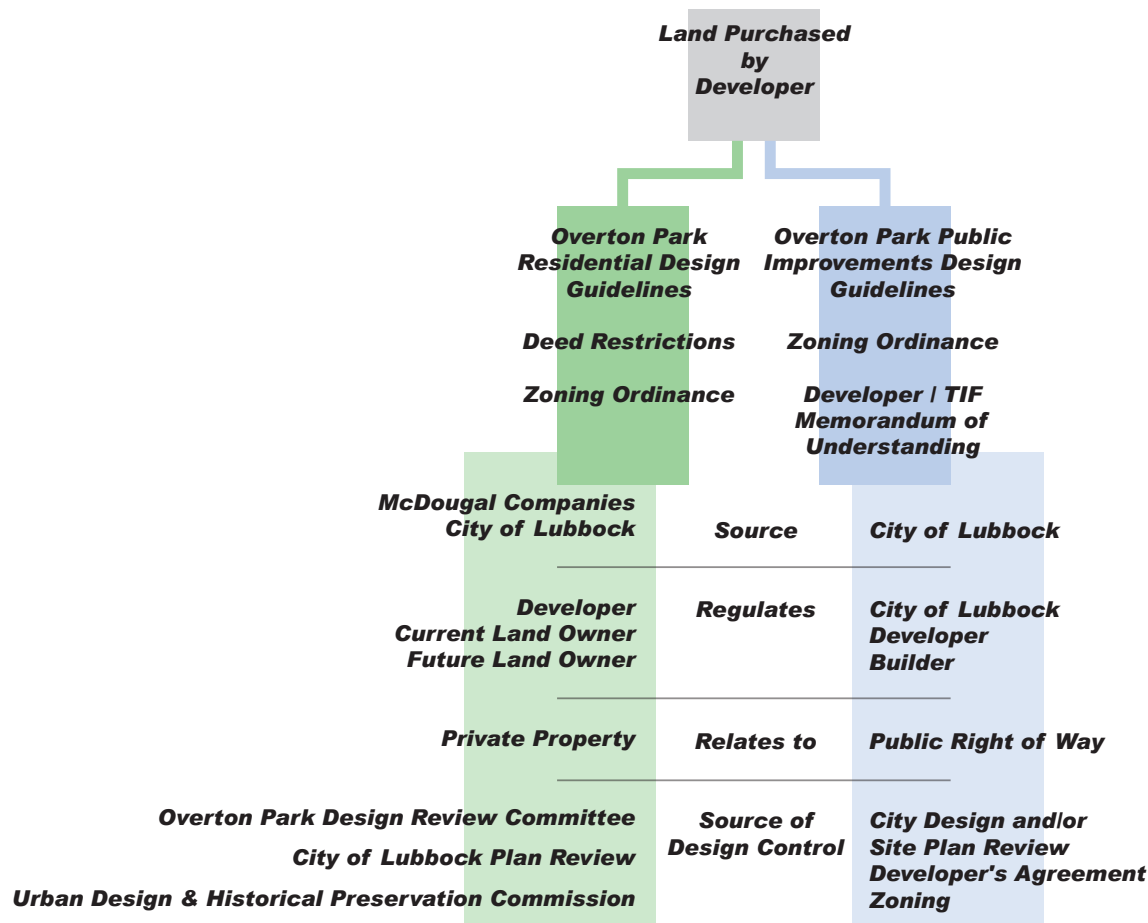
Plan Review

Construction plans, whether for new construction, additions, alterations, or material improvements, must first be reviewed by the Overton Park Design Review Committee (DRC) for adherence to these guidelines. The DRC is established by the McCanton Woods, Ltd., and maintained by its successors and/or assignees. After review and approval by the DRC, completed plans must be submitted to the City of Lubbock. If the DRC ceases to exist, plans must still be submitted to the City of Lubbock.

Those building, adding to, or altering residences in Overton Park should schedule a pre-application conference with the City of Lubbock. Plans submitted should convey the exterior design elements of a proposed structure and illustrate the

Overton Park

Residential Design Guidelines



Plan Review Process

property's relationship to its surroundings.

An application must include the following information:

1. Completed project application form.
2. Approval letter from Overton Park Design Review Committee (DRC).
3. Owner or representative's name, address, phone and project title.
4. Photographs of adjacent or cross street residences or existing buildings on lot, if any.
5. Site plans, maps and elevation drawings of proposed structures. All submissions should be to scale and illustrate:
 - a. All property lines, north arrow and scale.
 - b. All streets, alleys and easements, both existing and proposed.
 - c. Location and dimensions of buildings and structures.
 - d. Building height and setback from adjacent right-of-way and property or easement lines.
 - e. Proposed ingress and egress to property.
 - f. Building style as identified in these guidelines and use of exterior materials. Illustrations should include:
 - i. Elevation drawings, photographs and other supporting materials to illustrate the proposed construction or renovation.
 - ii. Specifications for all exterior materials to be used, including samples if necessary for complete understanding.
 - iii. Color specifications, with samples preferred.
 - g. Location and physical size of exterior mechanical equipment and other



Overton Park

Plan Review Process



visible items associated with the structure or development lot.

6. Landscape and irrigation plan for the development lot, including specifications for hard-surface landscape materials.
7. Other information that will assist in the evaluation of site development is encouraged, but not required.

Plan Review Process

1. Prior to issuance of a construction permit, complete plans as described above must be submitted to the building inspection department. The Director of Planning and building official, or designated representatives of either, shall determine whether the proposed development meets the intent of the ordinance zoning the property and the “Design Guidelines for Overton Park Residential Development.” Any decision may be appealed to the

Zoning Board of Adjustment by the applicant or other interested person within thirty days of the decision in accordance with the City of Lubbock Zoning Ordinance.

2. If the Director of Planning or a designated representative determines that the proposal contains unique circumstances which cannot be accommodated by the Zoning Ordinance and the “Overton Park Residential Design Guidelines,” the plans will be placed on the next available agenda of the Urban Design and Historic Preservation Commission for recommendations. The commission shall use the zoning ordinance and the design standards to determine whether the development meets the intent of each document. Factors to be considered by the commission in making their recommendation and attaching conditions include: the extent to which the proposal differs from the design standards or the

Plan Review Process

standards of the ordinance, the impact of these modifications on existing and future development in the area, and the public purpose to be served by permitting the requested modifications.

3. Upon recommendation by the Urban Design and Historic Preservation Commission, the Director of Planning may vary the requirements of the design standards so long as the requirements of the ordinance zoning the property are not altered. Variances from the requirements of this section, even if recommended by the Overton Park Design Review Committee and/or the Urban Design and Historic Preservation Commission, must be approved by the Zoning Board of Adjustment. All recommendations by the Overton Park Design Review Committee or the Urban Design and Historic Preservation Commission must be provided in writing to the applicant and to the Zoning Board of Adjustment.

Overton Park

1. **THAT** Overton Park Residential Design Guidelines are adopted within *Ordinance No. 2008-00024* with the following amendments:

- a. The front porches may be six feet eight inches (6'8") deep versus the eight feet (8 ') outlined in the Overton Park Residential Design Guidelines.
- b. The mix of structures shall be arranged such that no three-story building faces Glenna Goodacre Boulevard. Otherwise, the developer may arrange the building mix that best suits the available square footage on each block face. The rear style of each structure shall be as designed by the developer.
- c. The townhome structures shall be constructed in a different style than "bungalow" since that style is not acceptable in row housing.
- d. Propose an approved style other than "bungalow" for units that have a second-story porch.
- e. Structures including porches shall maintain a minimum of twelve feet (12') of front setback and five feet (5') side street setback, and the corner structures shall be designed to meet the twenty-five foot (25 ') vision triangle.
- f. No sheet materials shall be allowed unless finished as box and strip construction. Vertical sixteen inch (16") or less box and strip style "smartside" will be allowed. No masonite panels or shiplap materials will be allowed.
- g. As noted in the Overton Park Residential Design Guidelines, exterior window shutters are permitted only in the Colonial Revival style.
- h. For horizontal lap siding, the reveal may not be greater than seven inches (7").
- i. Roof slopes may be increased to as much as fourteen (14) in twelve (12) versus the maximum of six (6) in twelve (12) in the Craftsman Bungalow portion of the Overton Park Residential Design Guidelines. The developer is working on a number of the unit designs to have less roof pitch in some of the structures.
- j. Standing seam metal shall be allowed on porches, all main roof forms will have composite shingle roofs.

Site Design Guidelines

Overview

As a traditional neighborhood development, Overton Park will offer single-family detached houses. Cottages (also known as garden homes) and townhouses will also be available for those wishing an alternative housing style.



Residential lots in Overton Park are governed by the standards in this publication provided by McCanton Woods, Ltd., developer of Overton Park, and by any deed restrictions filed by the developers and/or property owners. Lots are also regulated by the standards established by the plat of the property, any property-specific ordinances adopted by the City of Lubbock for this development and any non-conflicting

regulations of the R-1 and R-1 Specific Use Districts of the City of Lubbock zoning ordinance.

These standards are intended to promote orderly development of the Overton Park neighborhood, to protect property owners and to provide a quality environment for the residents of the neighborhood.

Homes in Overton Park must conform to one of the styles in the “Overton Park Residential Design Guidelines.” These styles are described in detail elsewhere in this publication. Five styles are designated for single family and cottage homes. Of these five, three are suitable for townhouses.

Site Design Guidelines

To promote architectural variety within the neighborhood, adjacent or facing single-family detached or cottage residences may not have the same elevation so that each homeowner is assured of a special, unique residence. Townhouse structures, which include multiple units, must be of the same architectural style, though each individual residence may be unique through specific detailing.

Three housing types are available in Overton Park. Single family detached homes, cottages, and townhouses will meet a variety of housing needs. However, all land area on one side of a street between intersecting streets must be designated for a single housing type. Following are the development standards that

are specific to the different types of residential lots in Overton Park. Because townhouses and cottages have many similarities, they are included in a single section.

Single-Family Detached Development Standards

Siting Requirements

Traditional neighborhood development is characterized by houses that are close to the street with front porches or terraces. This promotes pedestrian activity and a sense of community. In order to achieve this effect, the developer of Overton Park has established the following standards for placement of single-family detached homes on the lot. In areas where these housing types are allowed,



Overton Park

Site Design Guidelines



all land area on one side of a street between intersecting streets will be designated for single-family detached residences.

Front Yard

Single-family detached houses will be setback no less than twenty feet, but no more than twenty-five feet. Each house must have an outdoor living area (front porch, walled courtyard or outdoor terrace) at least eight feet deep and appropriate to the architectural style of the house.

Porches (excluding steps), townhouse stoops, terraces, balconies (whether covered or uncovered), and walled courtyards (for Spanish Eclectic style only) may extend eight feet into the required front yard. The roof

overhang of covered porches or balconies may extend up to two additional feet. A wing or extension less than half the building width may extend six feet into the required front yard. However, structures and outdoor living areas must meet the vision clearance requirements of the City of Lubbock Zoning Ordinance.

Side Yard

Each property must have a five foot minimum side yard on each side of the lot. However, when access to a garage or carport is from the alley, the minimum side yard setback for the garage only may be zero on one side. To ensure visibility for traffic entering or leaving the alley, the zero setback side may not be

Site Design Guidelines

adjacent to any street. Access to a garage or carport is not allowed from a side yard.

Rear Yard

In Overton Park, all garages and carports must be accessed from an alley or rear access easement. The minimum rear yard setback is twenty feet for garages and five feet for carports without solid side walls or doors. Minimum rear yard setback is five feet for any one-story structure and ten feet for any two-story structure. A second floor structure that extends beyond the rear wall of the first floor structure to form a carport must be setback ten feet from the property line. However, in no case may any structure encroach on a utility easement. Setback is measured from

the property line if from an alley or from the easement line if from an access easement.

Projections into Required Yards

To allow flexibility of design, some building elements may extend into required yards. Bay windows, eaves, cornices, belt courses, sills, awnings, canopies, and chimneys may extend two feet into any required yard.

Any encroachments in the front and side yards may not extend into the vision triangle as defined in the City of Lubbock Zoning Ordinance. No portion of overhang (roof, cornice, eave or sill) may project past any property line. In no case may a projection into a required yard include an encroachment into a utility or drainage easement.



Site Design Guidelines

Building Size and Height

The combined area of all structures on a development lot must not exceed 65 percent of the lot area. Any structure included under a roof must be included in the lot coverage calculation. Patios and terraces without solid roofs will not be counted in the combined area.

A hallmark of traditional neighborhood developments is raised entry levels.

Therefore, the first floor of the house must be raised above the top of curb elevation at least eighteen inches or three steps to the porch or outdoor living area, whichever is greater.

No single-family detached structure in Overton Park may be more than two and a

half stories tall. Total height, including raised entry or roof features, may not exceed thirty-five feet measured from the first floor finished grade.

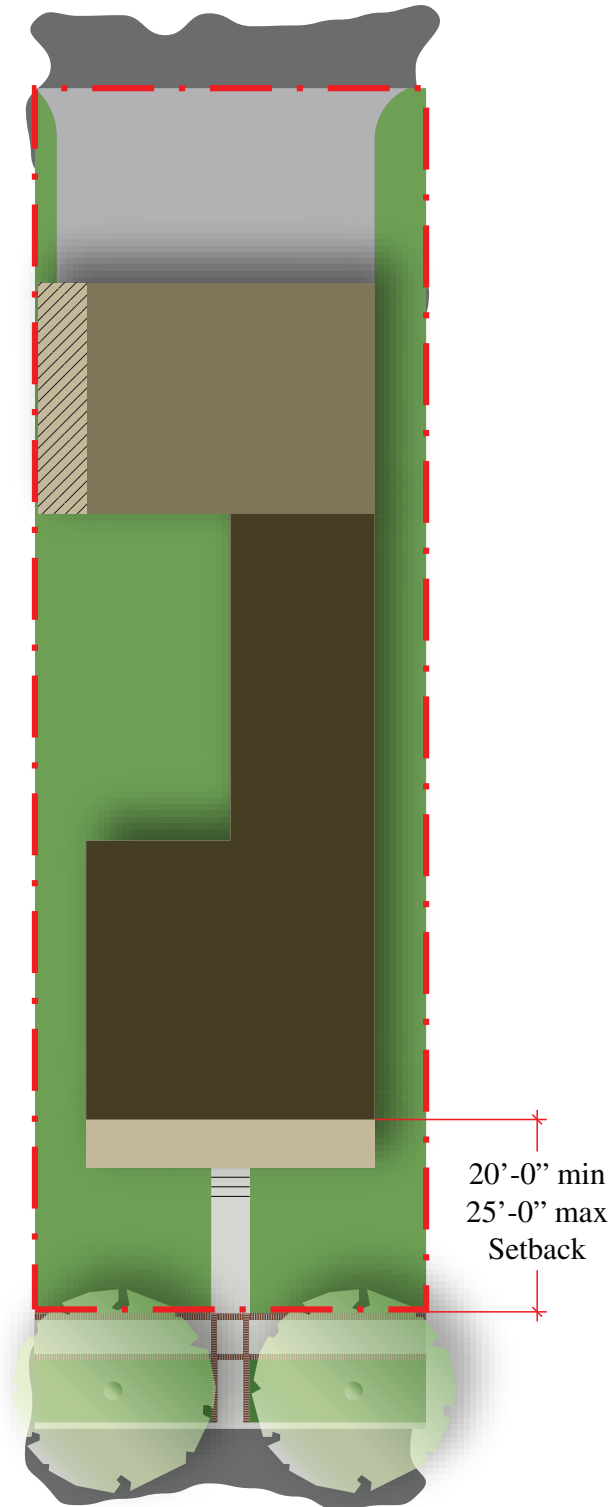


Site Design Guidelines

Single-Family Detached Lot Development Plan

-  Front, Side & Rear Setbacks
-  Parkway Right-of-Way
-  Sidewalk
-  Encroachment
-  Living Area
-  Garage
-  Off-Street Driveway
-  Street / Alley
-  Limited to One-Story
-  Property Line

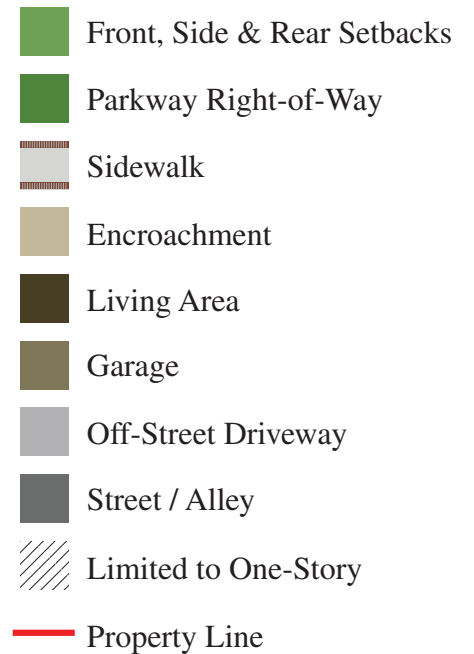
Scale: 1"=20'



Overton Park

Residential Design Guidelines

With 2nd-story level area over carport



Scale: 1"=20'

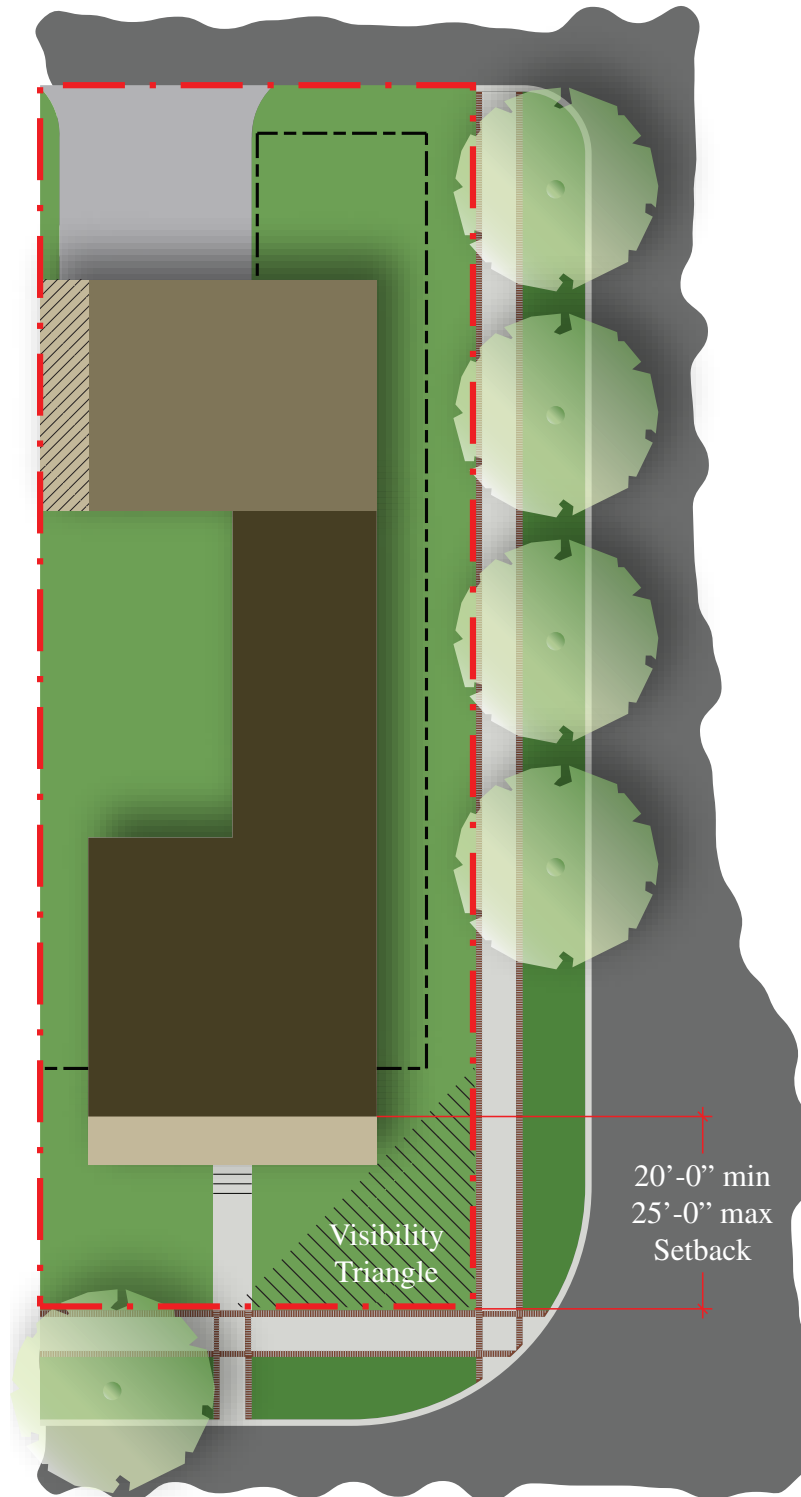
Site Design Guidelines

Single-Family Detached Lot Development Plan

Corner lot 10' side yard setback

-  Front, Side & Rear Setbacks
-  Parkway Right-of-Way
-  Sidewalk
-  Encroachment
-  Living Area
-  Garage
-  Off-Street Driveway
-  Street / Alley
-  Limited to One-Story
-  Property Line
-  Fence

Scale: 1"=20'



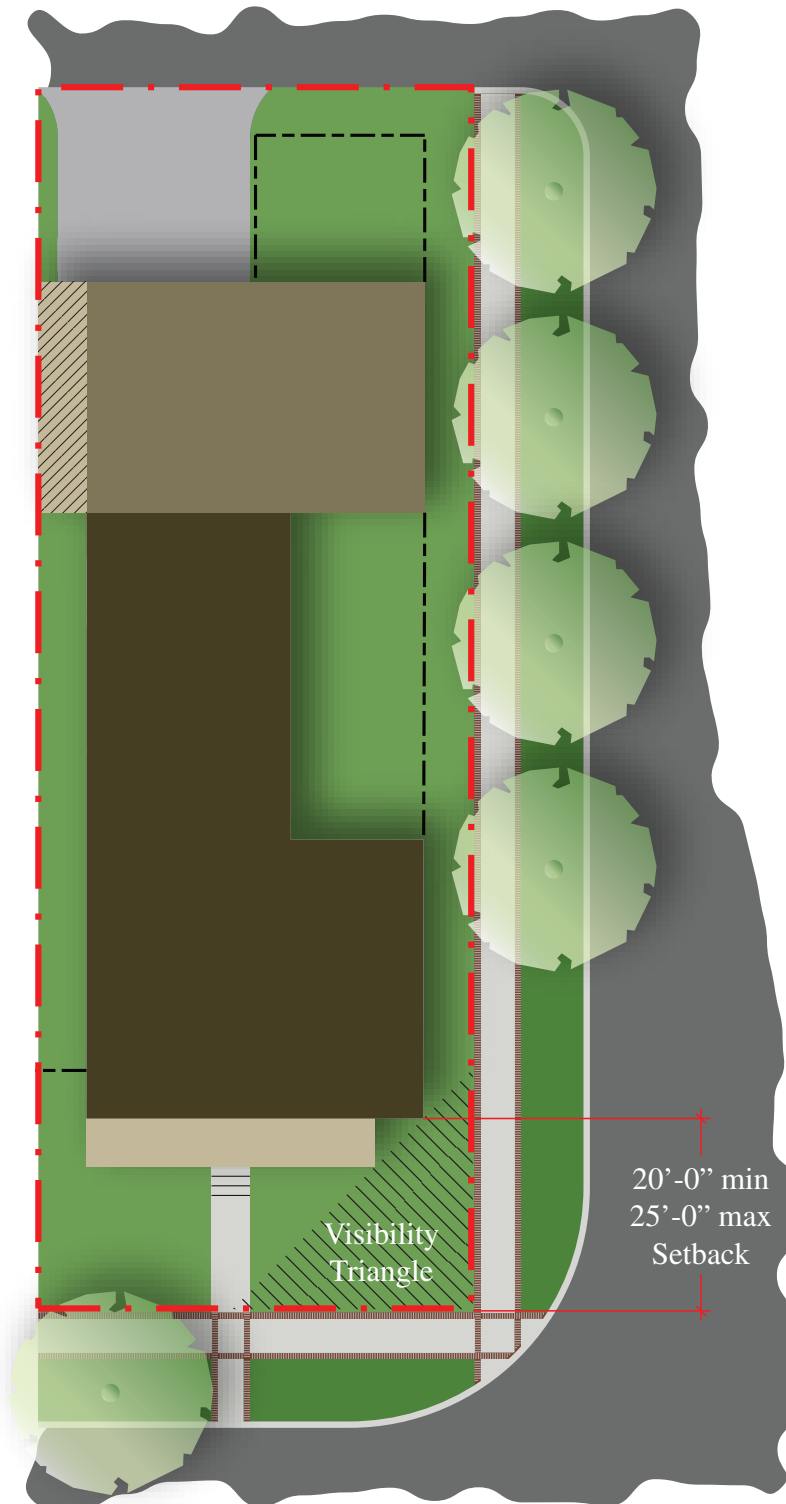
Overton Park

Residential Design Guidelines

Site Design Guidelines

Single-Family Detached Lot Development Plan

Corner lot 5' side yard setback



- Front, Side & Rear Setbacks
- Parkway Right-of-Way
- Sidewalk
- Encroachment
- Living Area
- Garage
- Off-Street Driveway
- Street / Alley
- Limited to One-Story

Property Line

Fence

Scale: 1"=20'

Site Design Guidelines

Townhouse and Cottage Development Standards

Siting Requirements

Traditional neighborhood development is characterized by houses that are close to the street with front porches or terraces. This promotes pedestrian activity and a sense of community. In order to achieve this effect, the Overton Park development has established standards for placement of townhouses and cottages (also known as garden homes). In areas where these housing types are allowed, all land area on one side of a street between intersecting streets will be designated for either townhouses or cottages.

Front Yard

Townhouses will be set back no less than eighteen feet, but no more than twenty feet, from the front property line. Within a townhouse structure, variation of set back is encouraged, consistent with architectural style.

Each townhouse or cottage must have a front porch, walled courtyard or outdoor terrace at least eight feet deep and appropriate to the architectural style of the house. Alternatively, townhouses may have a stoop, minimum six foot by six foot.

Porches (excluding steps), townhouse stoops, terraces, balconies (whether covered or uncovered), and walled courtyards (for Spanish Eclectic style only) may extend eight



Overton Park

Residential Design Guidelines

Site Design Guidelines

feet into the required front yard. The roof overhang of covered porches or balconies may extend up to two additional feet. A wing or extension less than half the building width (or the unit width for townhomes) may extend six feet into the required front yard. However, structures and outdoor living areas must meet the vision clearance requirements of the City of Lubbock Zoning Ordinance.

Side Yard

Townhouse and cottage lots have a zero minimum side yard requirement, except that there must be a minimum five foot setback from any property line adjacent to any street. There shall be at least ten feet of separation between townhouse structures, though a greater separation is encouraged. In any case,

the separation between townhouse structures should be evenly spaced along a block face.

There shall be at least ten feet of separation between cottages. When cottages are constructed with a zero side yard, five feet on the lot adjacent to the zero setback must be dedicated as an access and maintenance easement for the zero setback cottage. Such access and maintenance easement may be reduced if the side yard setback is greater than zero, though the total distance from the residence to the property line or access and maintenance easement line must total at least five feet. Access to a garage or carport is not allowed from a side yard.

Site Design Guidelines

Rear Yard

In Overton Park, all garages and carports must be accessed from an alley or rear access easement. For cottages and townhouses, the minimum rear yard setback is twenty feet for garages and five feet for carports without solid side walls or doors. Minimum rear yard setback is five feet for any one-story structure and ten feet for any two- or three- story structure. A second or third floor structure that extends beyond the rear wall of the first floor structure to form a carport must be setback ten feet from the property line. However, in no case may any structure encroach on a utility easement. Setback is measured from the property line if from an alley or from the easement line if from an access easement.

Projections into Required Yards

To allow flexibility of design, some building elements may extend into required yards. Bay windows, eaves, cornices, belt courses, sills, awnings, canopies, and chimneys may extend two feet into any required yard.

Any encroachments in the front and side yards may not extend into the vision triangle as defined in the City of Lubbock Zoning Ordinance. No portion of overhang (roof, cornice, eave or sill) may project past any property line, except that on cottages, roofs may overhang the property line two feet onto the adjacent lot if a roof overhang easement is provided. In no case may a projection into a required yard include an encroachment into a utility or drainage easement.



Overton Park

Residential Design Guidelines

Site Design Guidelines



Building Size and Height

The combined area of all structures on a development lot must not exceed:

- 85 percent of the lot area for townhouses
- 65 percent of the lot area for cottages

Any structure included under a roof must be included in the lot coverage calculation.

Patios and terraces without solid roofs will not be counted in the combined area.

A hallmark of traditional neighborhood developments is raised entry levels. Therefore, the first floor of cottages must be raised above the top of curb elevation at least 18 inches or three steps to the porch or outdoor living area, whichever is greater.

Cottages in Overton Park may not be more than two and a half stories tall. Total height, including raised entry or roof features, may not exceed thirty-five feet, measured from the finished grade of the first floor.

Overton Park townhouse units may be three stories tall. Total height, including raised entry or roof features, may not exceed forty-five feet, measured from the finished grade of the first floor. As with other structures in the neighborhood, the first floor must be raised above the top of curb elevation at least 18 inches or three steps to the porch or outdoor living area, whichever is greater.

No townhouse structure may have less than two dwelling units or an overall length

Site Design Guidelines

exceeding two hundred and fifty feet. All units in a single townhouse structure must be of the same architectural style, though variations in each unit's elevations are encouraged. Setback variations within the required setback range (eighteen to twenty feet) between units in a townhouse structure are also encouraged if appropriate to the structure's architectural style.

Exterior Wall Finishes

In a townhouse structure, all exterior walls must be finished with materials appropriate to the unit's architectural style. However, walls intended eventually to be a common wall with a future townhouse unit must be finished with stucco or an approved variant unless the

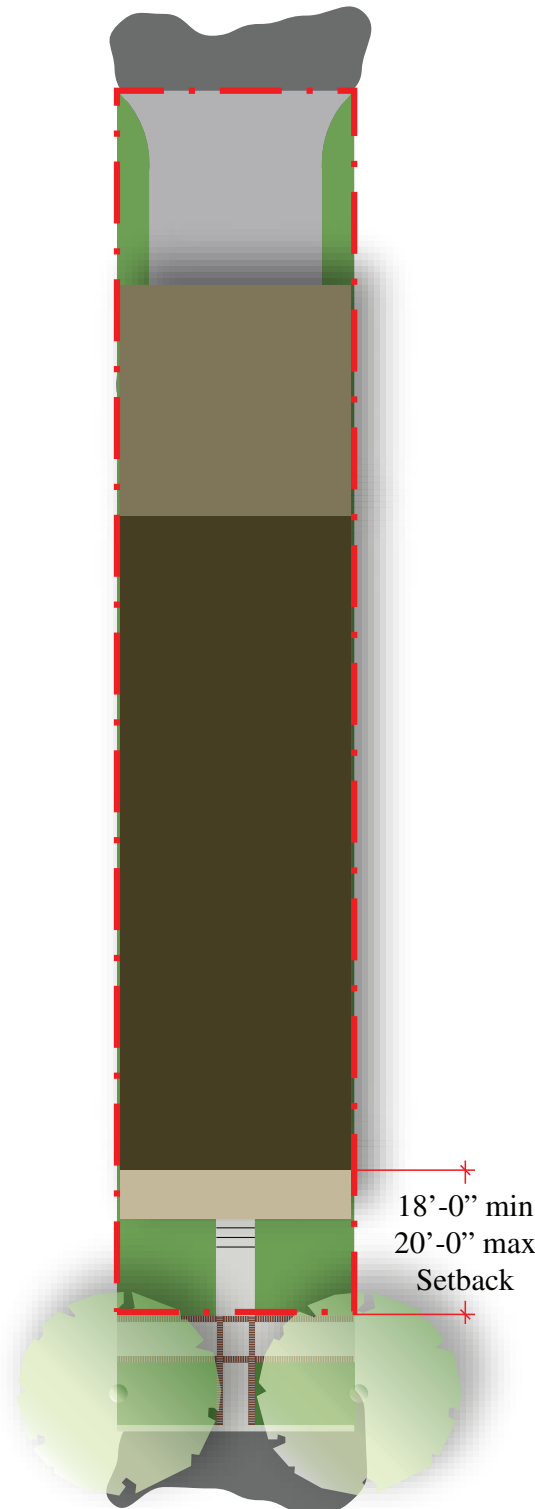
adjacent unit is under construction at the time of building final inspection.

Site Design Guidelines

Townhouse

Lot Development Plan

Mid Structure Unit



-  Front, Side & Rear Setbacks
-  Parkway Right-of-Way
-  Sidewalk
-  Encroachment
-  Living Area
-  Garage
-  Off-Street Driveway
-  Street / Alley

 Property Line

18'-0" min
20'-0" max
Setback

Scale: 1"=20'

Site Design Guidelines


Townhouse

Lot Development Plan

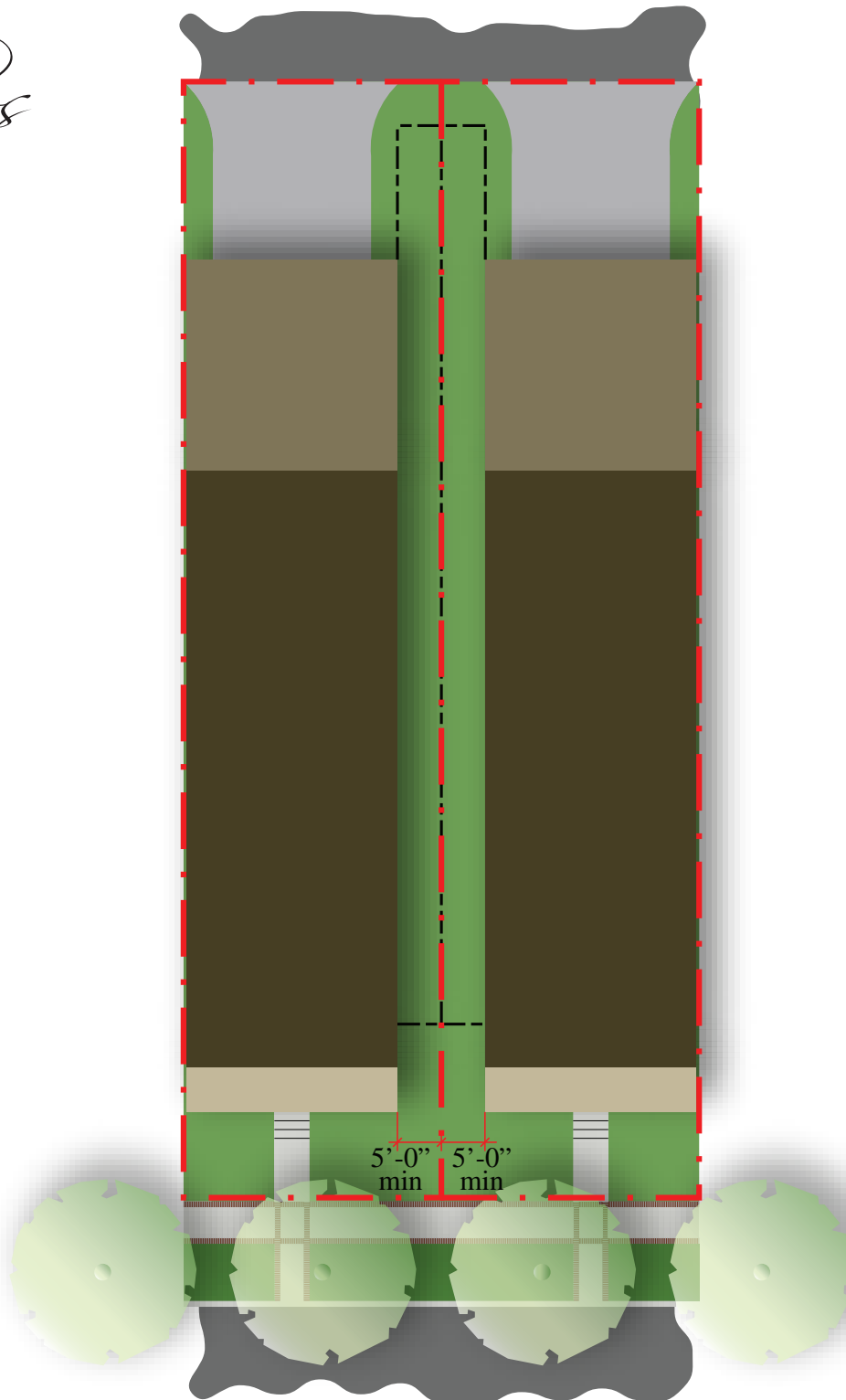
End Unit

-  Front, Side & Rear Setbacks
-  Parkway Right-of-Way
-  Sidewalk
-  Encroachment
-  Living Area
-  Garage
-  Off-Street Driveway
-  Street / Alley

 Property Line

 Fence

Scale: 1"=20'

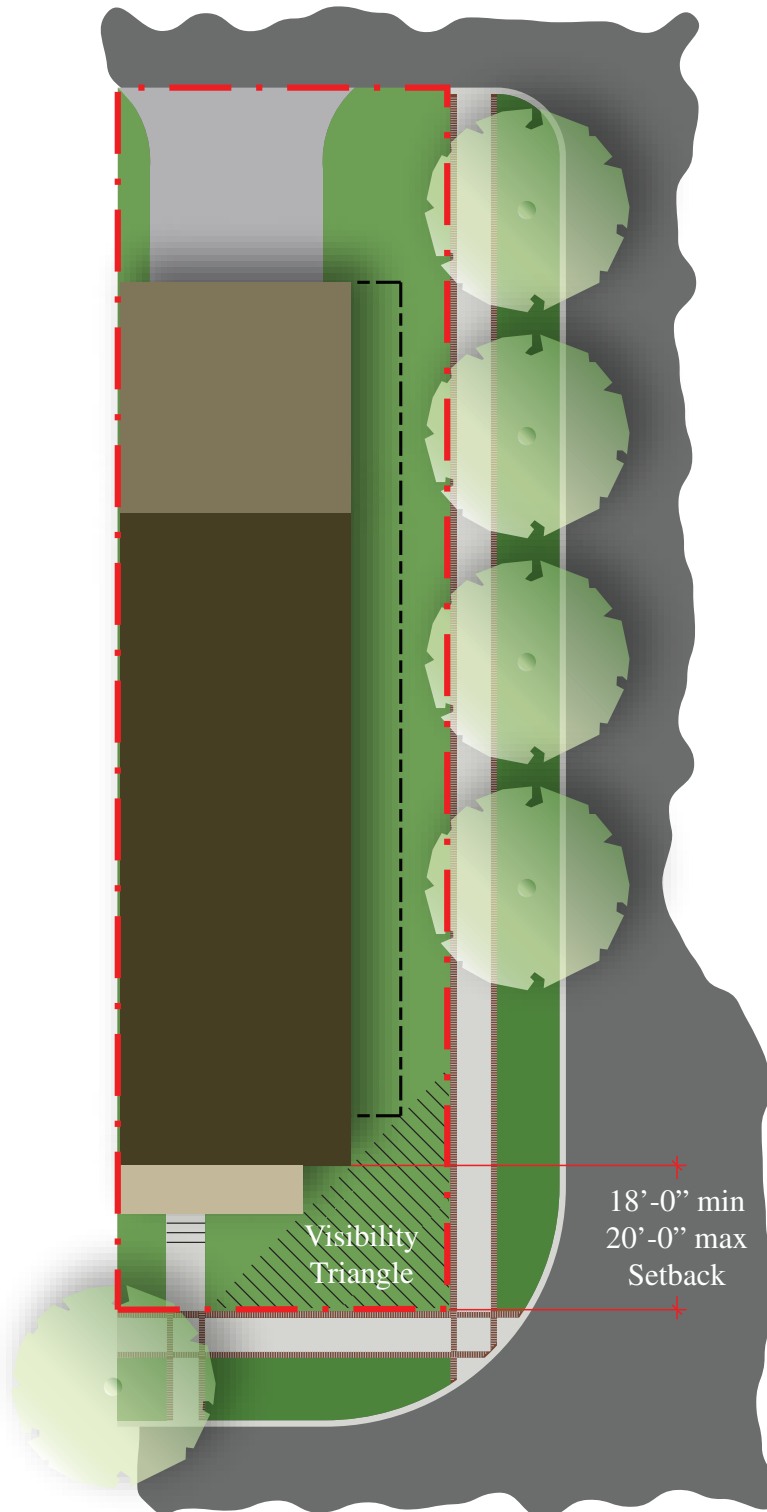


Site Design Guidelines

Townhouse

Lot Development Plan

Corner end unit with 10' side yard set back



- Front, Side & Rear Setbacks
- Parkway Right-of-Way
- Sidewalk
- Encroachment
- Living Area
- Garage
- Off-Street Driveway
- Street / Alley

- Property Line
- Fence

Scale: 1"=20'

Site Design Guidelines

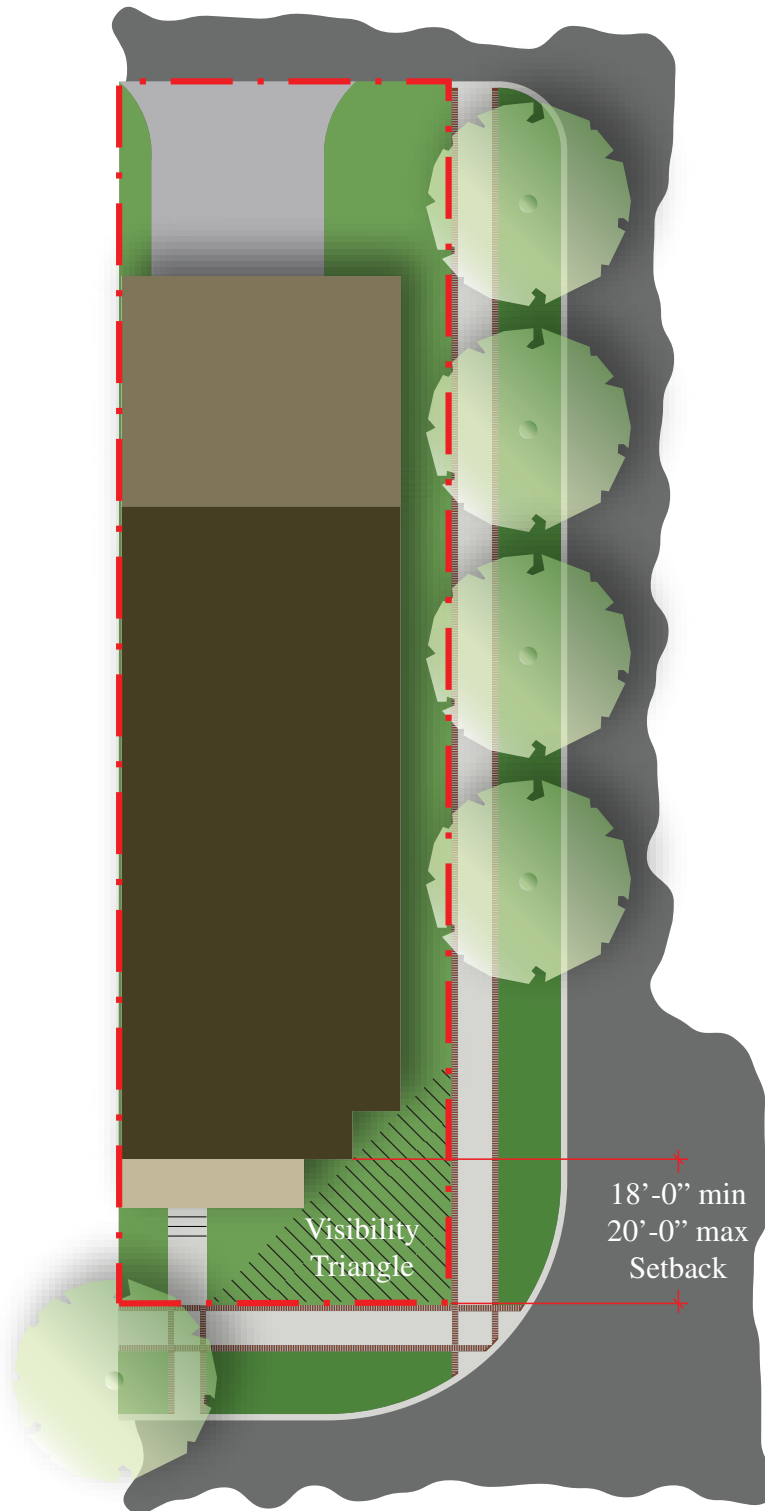
Townhouse

Lot Development Plan

Corner end unit with 5' side yard set back



Scale: 1"=20'



Site Design Guidelines

Cottage Lot Development Plan



- Front, Side & Rear Setbacks
- Parkway Right-of-Way
- Sidewalk
- Encroachment
- Living Area
- Garage
- Off-Street Driveway
- Street / Alley

18'-0" min
20'-0" max
Setback

- Property Line
- Access and Maintenance Easement and Roof Overhang Easement

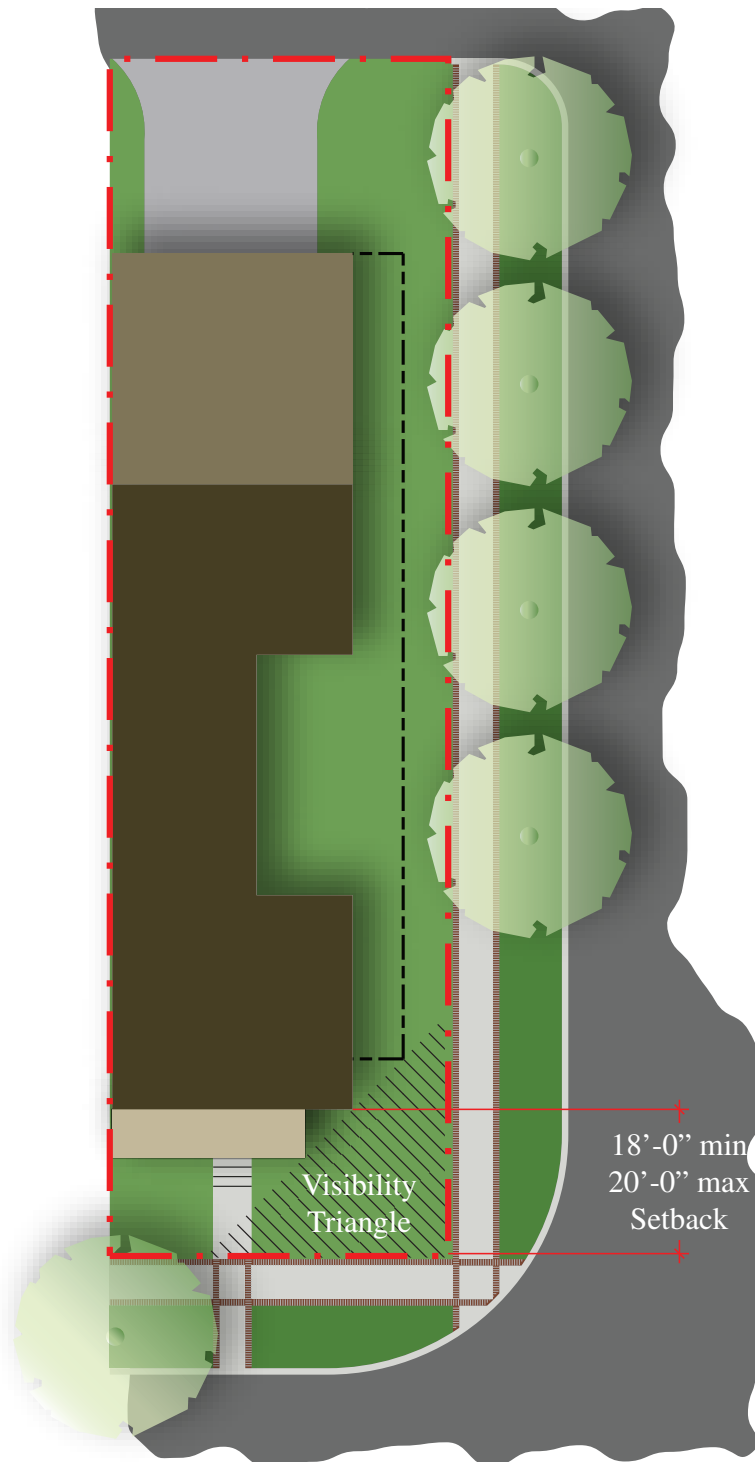
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Site Design Guidelines

Cottage Lot Development Plan

Corner lot with 10' side yard set back

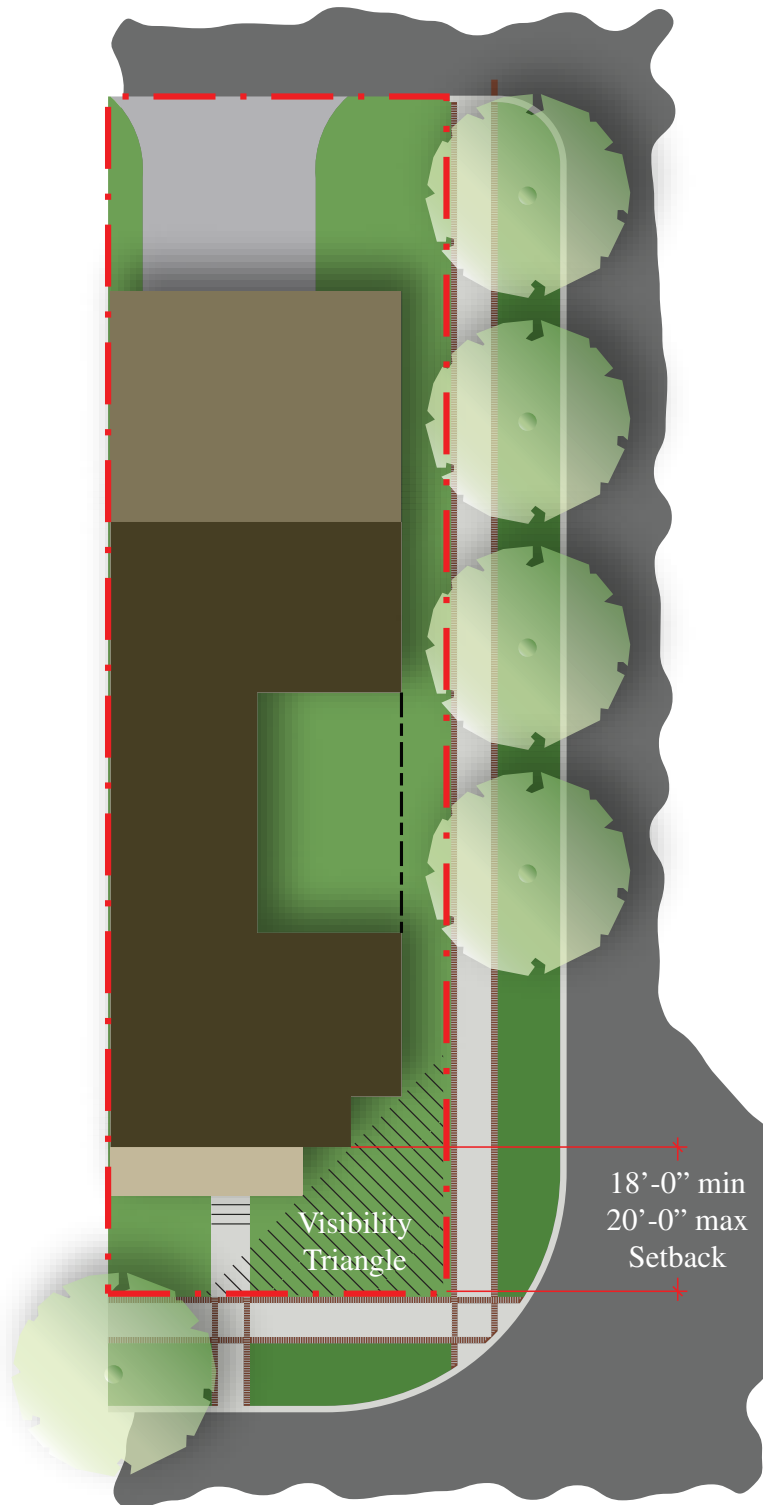
-  Front, Side & Rear Setbacks
-  Parkway Right-of-Way
-  Sidewalk
-  Encroachment
-  Living Area
-  Garage
-  Off-Street Driveway
-  Street / Alley
-  Property Line
-  Fence
- Scale: 1"=20'



Site Design Guidelines

Cottage Lot Development Plan

Corner lot with 5' side yard set back



- Front, Side & Rear Setbacks
- Parkway Right-of-Way
- Sidewalk
- Encroachment
- Living Area
- Garage
- Off-Street Driveway
- Street / Alley

Property Line

Fence

18'-0" min
20'-0" max
Setback

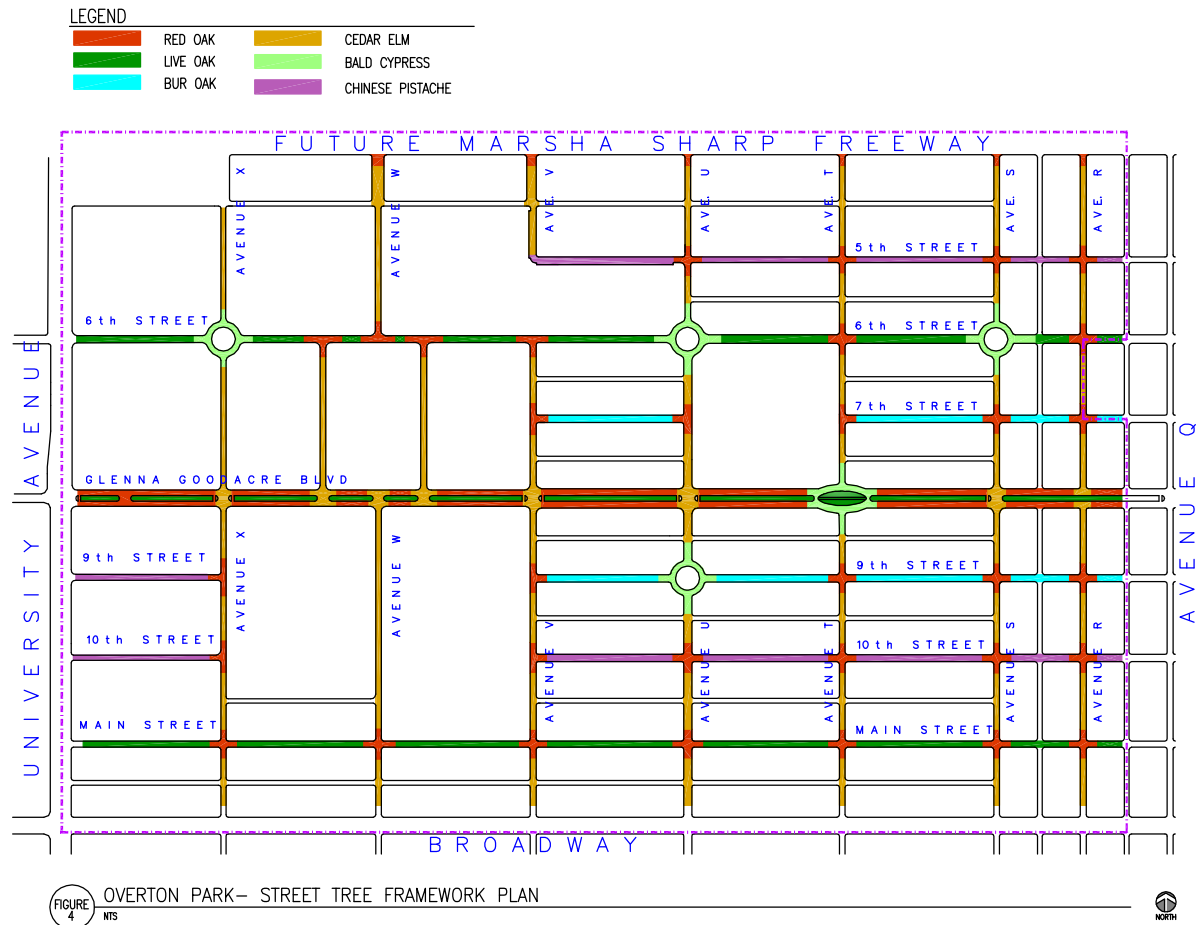
Visibility
Triangle

Scale: 1"=20'

Site Design Guidelines

Parkway Improvements

Public sidewalks that are a minimum of five feet wide and edged with brick will enhance the pedestrian experience in Overton Park. The area from back of curb to the property line, generally known as the parkway, must be planted according to the standards in the “Overton Park Public Improvements Site Design Guidelines.” Street trees planted according to the plan, which calls for blocks of specific species, will also add to the unique nature of the neighborhood. Parkway plantings must meet the visibility requirements of the R-1 District of the City of Lubbock Zoning Ordinance.



Street Tree Planting Plan

from *Overton Park Public Improvements Site Design Guidelines*

Site Design Guidelines

Landscaping

Attractive landscaping also contributes to the neighborhood environment. Front yards in Overton Park must be landscaped and permanently maintained. A front walkway connecting the public sidewalk and the front porch or entry must be constructed as part of the landscaping. Although hard surface materials such as stone and concrete can be an attractive addition to landscaping, too much can detract. Therefore, no more than ten percent of the required front yard may be landscaped in hard surface materials, excluding the required front walkway.

The area between the rear yard fence and the alley must be paved or landscaped and permanently maintained. Any side yard

visible from any street must be landscaped and permanently maintained.

All landscaped areas on the development tract and adjacent parkway must have an irrigation system capable of sustaining plant materials.

Irrigation systems must meet acceptable industry standards. Parkway irrigation systems adjacent to public streets may not spray on adjacent streets and gutters.

Non-plant landscape materials are discussed in the Materials and Color section. A list of approved plant materials for Overton Park is in the Appendix.

Site Design Guidelines

Parking

Two off-street parking spaces must be provided for each home. The required spaces may not include any spaces enclosed in a garage. There will be no curb cuts allowing access to front or side yards, and parking will not be allowed in front or side yards.

Any lighting of driveway or parking areas should be designed to not cause glare on any other homes. Parking for recreational vehicles is allowed by the standards included in the R-1 section of the City of Lubbock Zoning ordinances, except that no front or side yard parking is allowed in Overton Park.

Accessory Buildings

Accessory buildings that do not exceed two hundred square feet in area or eight feet in height may be erected on the rear and/or side property lines, with no minimum setback from those property lines. Such buildings may not have any utilities except electricity.

Any other size of building shall be located with a minimum five-foot side and rear setback. However, in no case may any structure encroach on a utility easement. No portion of overhang (roof, cornice, eave, or sill) may project past any property line. The wall and roof materials of any accessory building must match those of the residence.

Overton Park

Site Design Guidelines

Fencing

Front yard fences, if used, must be no more than thirty inches tall. Fences must be of open construction, without solid walls or panels.

Ornamentation and design that compliment the architectural style of the house are encouraged. Panels (the area between posts) may vary in height to create patterns, but all panels in a front yard fence must be alike.

For improved visibility, rear yard fences must be set back at least five feet from the rear property line. On corner lots, side yard fences must be set back at least five feet from the property line adjacent to the street, regardless of the building setback. Fence materials are discussed in the Materials and Color section.



Site Design Guidelines

View Obstruction

Preventing obstruction of views for drivers and of sidewalks for pedestrians is important to producing a safe and inviting environment in Overton Park. Trees, shrubs, plants, signs or structures (including mailboxes), on private property or in the public right-of-way, should be located to not interfere with the free passage of vehicles on the street or of pedestrians on the sidewalk, and to not obscure the view of motor vehicle operators.

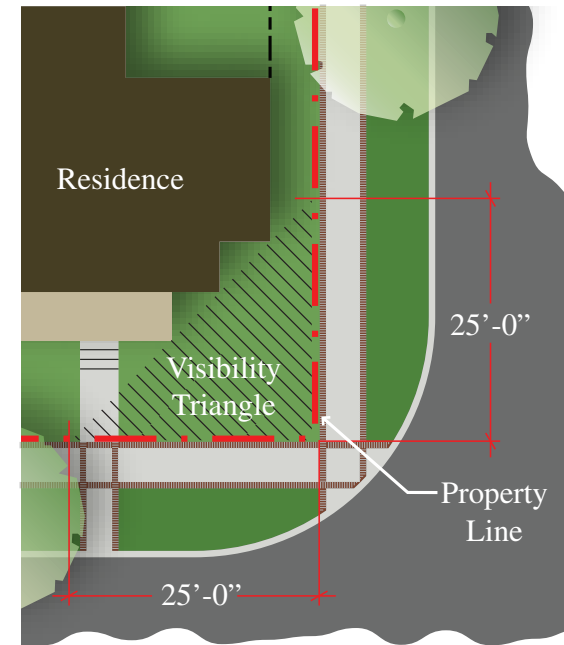
In the parkway area, trees must be trimmed so that no foliage is less than six feet above the top of the curb of the adjacent street. No evergreen or coniferous species of trees are allowed in the parkway. Other structures and plantings must not have a height greater than two feet, allowing a clear zone for visibility.

An intersection visibility triangle must be maintained so that drivers have a clear sight area across the corner in each direction. This triangle is the area formed by a diagonal line extending through points on the two intersecting property lines twenty-five feet from the street corner intersection of the property lines.

Mechanical Units and Roof Penetrations

Mechanical units may not be located in the front yard or on the roof of a house.

Mechanical units in side yards visible from any street must be screened from view using materials and design that are compatible with the architectural style of the structure. Roof vents and other roof penetrations (except chimneys) are not allowed on any roof visible from the front yard.

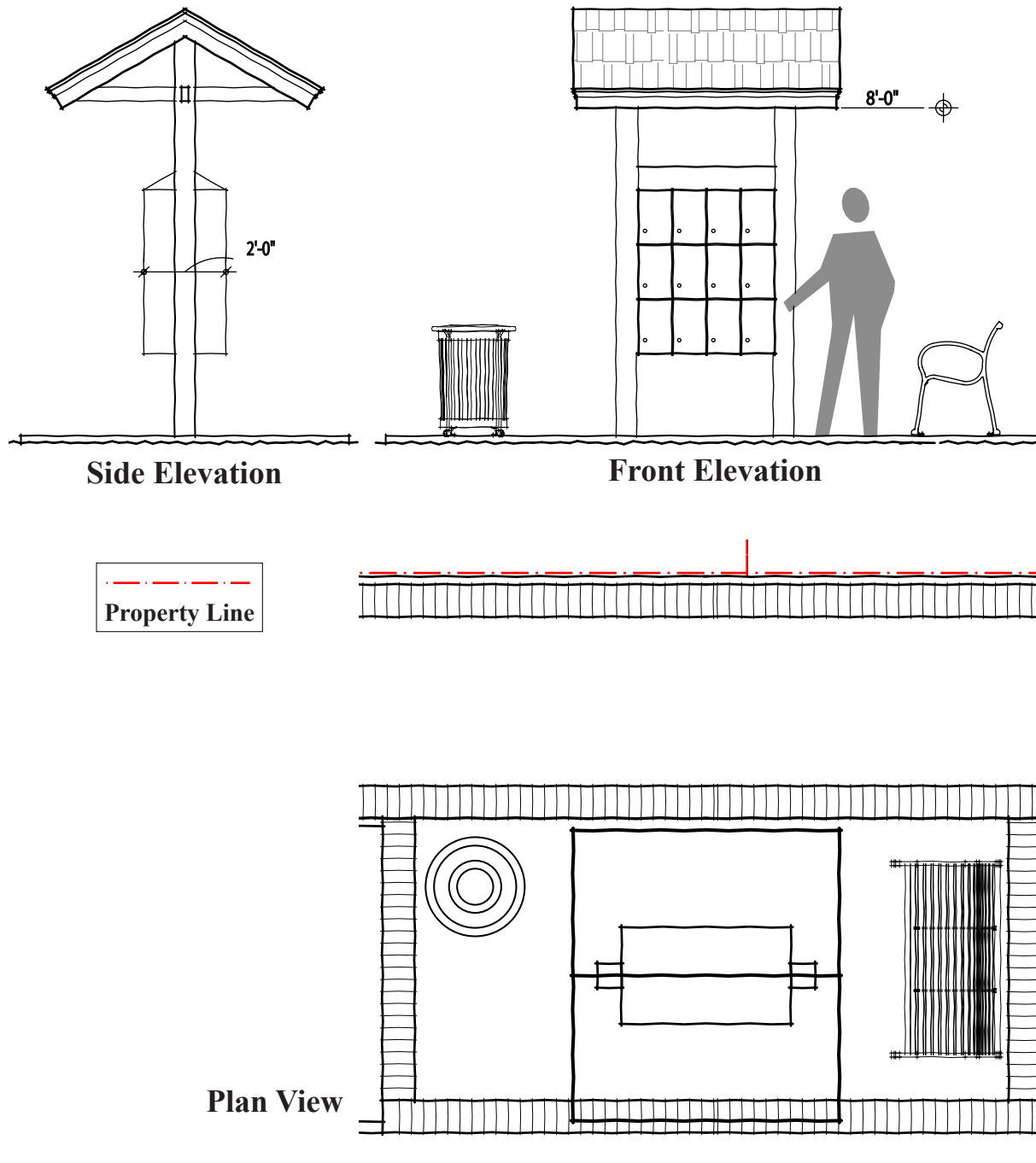


Intersection Visibility Triangle

Site Design Guidelines

Mailboxes

Mailboxes located in mailbox shelters within the public right-of-way will provide neighborhood gathering places, further enhancing a sense of community. Each mailbox shelter will provide protection from the elements, a trash can to minimize debris and an opportunity to interact with neighbors. Shelters will be constructed in a compatible architectural style and built with materials complementary to the residences in Overton Park. The developer and U.S. Postal Service will determine multiple mailbox locations within each block. Mailboxes must meet the vision clearance requirements of the City of Lubbock zoning ordinance.



Materials and Colors

Building Materials

Exterior building materials must be durable and similar in size, scale and color to historic materials. Materials like brick, stone and certain types of stucco require little maintenance, while other materials require a lot of attention to keep the building in a state of good repair.

New and unusual materials will be reviewed on a case-by-case basis via the review process outlined elsewhere in this document. Materials will be evaluated for their potential impact on the building design and for their ability to project continuity in the neighborhood. Allowance of the use of such materials once does not mean allowance will be made in every case.



The materials section provides a general overview of materials along with information that is applicable to all architectural styles. Specific materials acceptable for an architectural style, as well as exclusions of materials, are listed within each style section.

Facade Materials

Facades for residences and accessory buildings shall include one or more of the following materials on the main body of the building:

- unpainted clay or concrete brick
- natural, cultured, or cast stone
- stucco
- wood or fiber cement siding (siding materials should possess traditional siding qualities, detailing and dimensions and be laid in a manner consistent with the

Materials and Colors

architectural style of the building and with no more than a six inch reveal)

The following materials are not allowed on any exterior wall regardless of architectural style:

- painted brick
- paneled materials
- corrugated metal
- plywood or other composite sheet or panel materials
- vinyl, steel, or aluminum siding
- marbled concrete or any other stucco with embedded exposed pebble or marble chips
- any type of concrete masonry units
- unpainted wood
- extra-wide siding (greater than six inch reveal)
- diagonal or vertical siding

Accent and Trim Materials

Accent and trim materials, including soffit and fascia and gable ends, should be appropriate to the architectural style of the house and of proportion and scale appropriate to its size. Materials may include exterior wall materials plus architectural decorative materials such as:

- copper
- bronze and bronze anodized aluminum
- ceramic tile
- wood or fiber cement shingles

The following are not allowed as accent and trim materials:

- stainless steel, clear finished aluminum, or gold anodized aluminum
- glass block on facades visible from any street
- unpainted wood
- metal or vinyl soffit and fascia systems

Materials and Colors



- wood siding on chimneys
- unpainted or clear finish wood
- stained wood, except on doors
- wrought iron columns, brackets and porch railings
- any materials excluded in the primary facade materials section

Roofing Materials

Roofing materials exposed to view from the street are limited to:

- unpainted wood shingles
- composition shingles in muted or natural wood colors
- clay, concrete slate and architectural metal tiles
- slate shingles
- prefinished standing seam metal roofs are only allowed on Folk Victorian style houses



Metal clad roofs that are not architecturally decorative or gravel roofs in excess of a pitch of .5 in 12 must not be visible from any street.

Accessory Buildings

Regardless of the size of the building, the wall and roof materials of any accessory building must match those of the residence.

Windows and Doors

Windows and doors should be of wood, glass, painted or pre-finished metal or architectural decorative material consistent with the architectural style of the residence. Examples are included within each style section.

However, the following conditions apply in any areas:

- all windows must be double paned insulated windows
- low e glass is encouraged

Materials and Colors

- mirrored, reflective or dark tinted glass is not allowed
- exterior storm windows are not allowed
- fixed single pane oversized windows (picture windows) are not allowed
- unpainted wood and clear mill-finished or unfinished aluminum windows and storm doors are not allowed
- storm doors should be simple, with large glass panes or screens, and reveal as much of the door as possible
- exterior security bars or grates are not allowed on windows or doors

Shutters

Shutters shall not be placed on buildings not designed for them, and the architectural style of the shutter should match that of the house. If used, shutters should be wood, be large enough to cover the entire window area, look as if they function and operate, and not appear flat-mounted on the wall. Plastic, EIFS, vinyl or metal shutters are not acceptable.

Overton Park

Awnings and Canopies

Canvas or woven acrylic textile awnings or canopies may be used if appropriate to the architectural style. Shiny vinyl or plastic fabrics and metal awnings are not allowed.

Awnings and canopies should be placed at the top of openings, but should not hide important architectural details and elements. The shape of awnings and canopies should fit the shape of the openings--round or arched awnings over arched openings and rectangular shed awnings over rectangular openings. Odd shapes and bullnose or bubble awnings are inappropriate.



Materials and Colors



Fences

Front yard fences may only be of open construction, without solid walls or panels. Fence piers or posts must be of decorative materials such as brick, natural, cast or manmade stone, or wrought iron. Open design front yard fence panels may be of painted wood or wrought iron.

Rear yard fences may be built of wood, but must be constructed using metal posts with a concrete footing. Any wood fencing must be redwood or cedar. Rear yard fences should be designed with a flat wood cap and trim. No-chain link fencing is allowed unless fully screened from public areas and neighboring properties. (Example: a chain link dog run in a fully enclosed back yard.)

Additionally, the following materials may not be used for fences in any location:

- wood lattice
- split rails
- plastic or vinyl
- concrete masonry units

Details of fence design are discussed in the Site Design Guidelines Section.

Unacceptable Landscape

Materials

- Railroad ties
- Exterior carpeting

Materials and Colors

Use of Color

Color can help coordinate facade elements into an overall composition—one that will highlight features of the facade. Colors vary according to architectural style, and a color palette is included in each style section. Any color scheme should be subdued, not garish, and in keeping with the character of the building and with color schemes of nearby structures.

Distinctive architectural elements may be accented with a contrasting color. Trim colors should be compatible with other, more permanent building materials on the structure, such as brick, stone or stucco.

Fluorescent and extremely bright colors are prohibited. (See definition in Appendix)

Finishes

Finishes primarily protect materials from deterioration, but also add charm and character to a structure and a neighborhood. The proper use and maintenance of finishes is important to the longevity of the building. Finishes should be of a type and composition that are appropriate for the materials to which they will be applied, as inappropriate finishes can actually harm materials.

Simple finishes are preferred and should be matte, not glossy or polished. Brick and stone must not be painted.



Craftsman Bungalow

Housing Types

Single-Family Detached

Cottages

Overview

Craftsman Bungalows were a hugely popular style of housing in the early 20th century, and the style is equally well suited to the needs of homeowners today. With its low pitched gable roof with overhanging eaves, broad porches, and asymmetrical floor plan, the bungalow is ideal for families wanting comfortable houses in styles suited for smaller lot sizes. The resurgence of interest in Mission style furniture and furnishings has created a renaissance for the Craftsman Bungalow style.



Craftsman Bungalow

Characteristics

1. Low-pitched gabled roofs with multiple gables. Gable ends may be shingled or stuccoed. Maximum roof slope is 6 in 12 and minimum roof slope is 4 in 12.
2. Wide, open eaves, often with exposed rafter tails.
3. Decorative beams or braces extending through the wall to the roof edge under gables.
4. Gabled or shed dormers that open the area under the roof to light.
5. Bungalows are generally one story, but if a home has a second story, it is set back from the front of the building so that the one story features predominate.
6. One-story porch with a roof supported by square columns. Porches under the main or intersecting gable, which may wrap



Overton Park

Craftsman Bungalow



around the side of the building. Multiple porches, often covered with wooden trellises or pergolas. In no case will a bungalow have a two-story porch.

7. Porch columns connected by strong horizontal beams are a hallmark of the Craftsman style. Most characteristic are the sturdy tapered or battered square box columns resting on massive piers or a solid porch balustrade. Solid full-height columns of brick or stone are also found. Columns or column bases frequently continue to ground level without a break at the level of the porch floor.
8. Sloping foundation walls.
9. Decorative stickwork (not gingerbread).

Craftsman Bungalow

Materials:

1. Main Building:
 - a. Horizontal siding
 - b. Shingles
 - c. Brick
 - d. Stucco
 - e. Stone
2. Roof
 - a. Wood or composition shingles
 - b. No standing seam metal roofs
3. Porch Supports (often used in combination)
 - a. Stone
 - b. Shingle
 - c. Brick
 - d. Stucco
 - e. Paneled decorative wood



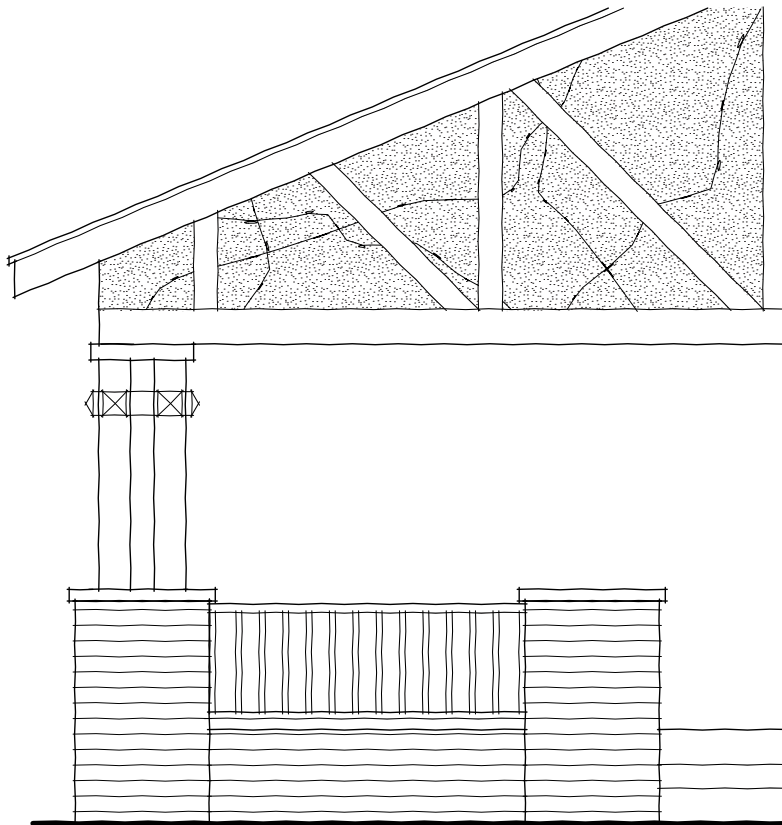


Craftsman Bungalow

Details

Porches

- Roof framing consists of exposed rafters and rafter tails with half-timber framing and stucco infill in gable end.
- One-story porch features include double wood columns with projected wood detail elements resting on a stone coping on a solid brick pier.
- The railing system consists of a horizontal 2 x 4 top and bottom rail with 2 x 2 balusters.

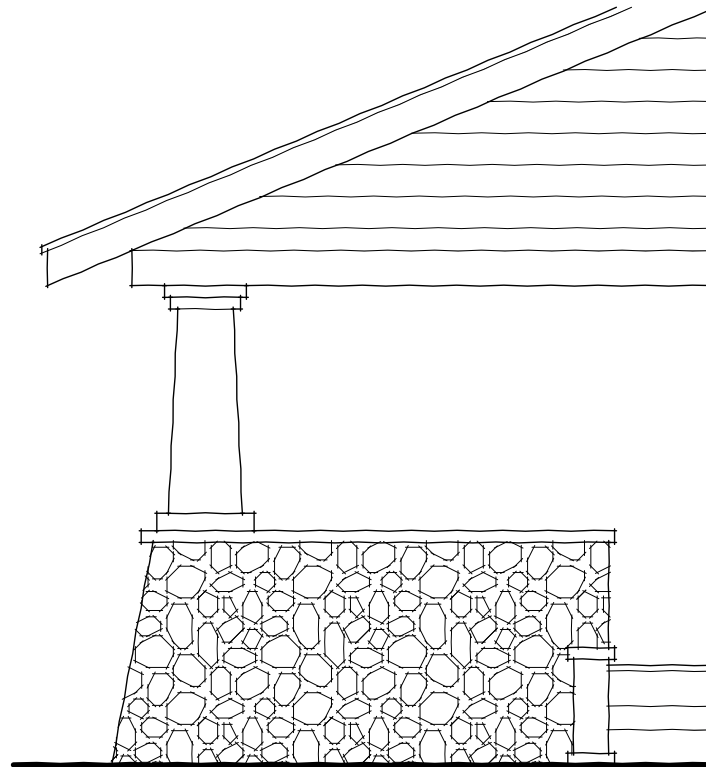


Scale: 1/4"=1'-0"

Craftsman Bungalow

Porches

- Roof construction consists of exposed rafters and rafter tails with wood horizontal lap siding in gable end.
- Porch features consist of tapered wood columns with wood cap and base resting on a stone coping supported by a solid, battered rubble stone railing.



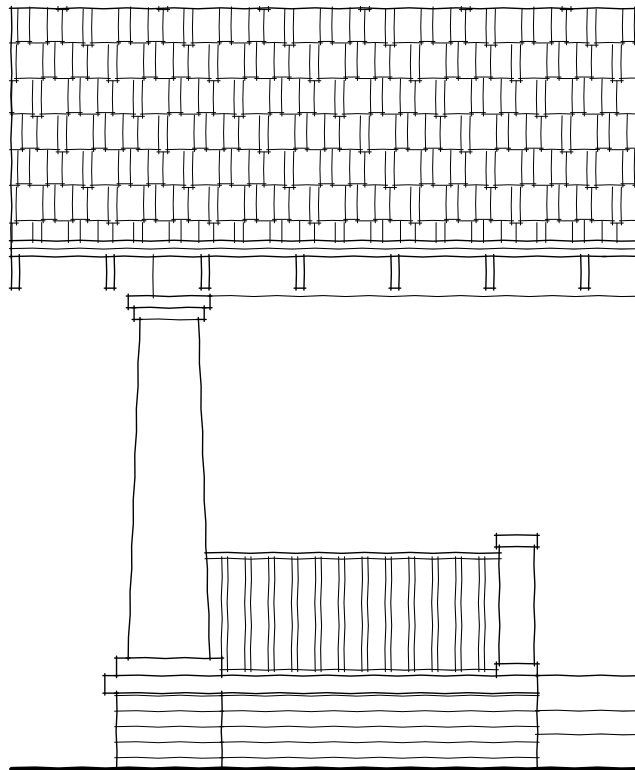
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Craftsman Bungalow

Porches

- Roof construction consists of composition shingles with exposed rafter tails.
- Porch elements consist of a full height, tapered wood column with a wood base and capital resting on the concrete porch and brick faced foundation.
- Railing elements consist of 2 x 4 horizontal top and bottom rails with 2 x 2 balusters terminating into a cased wood newel post.

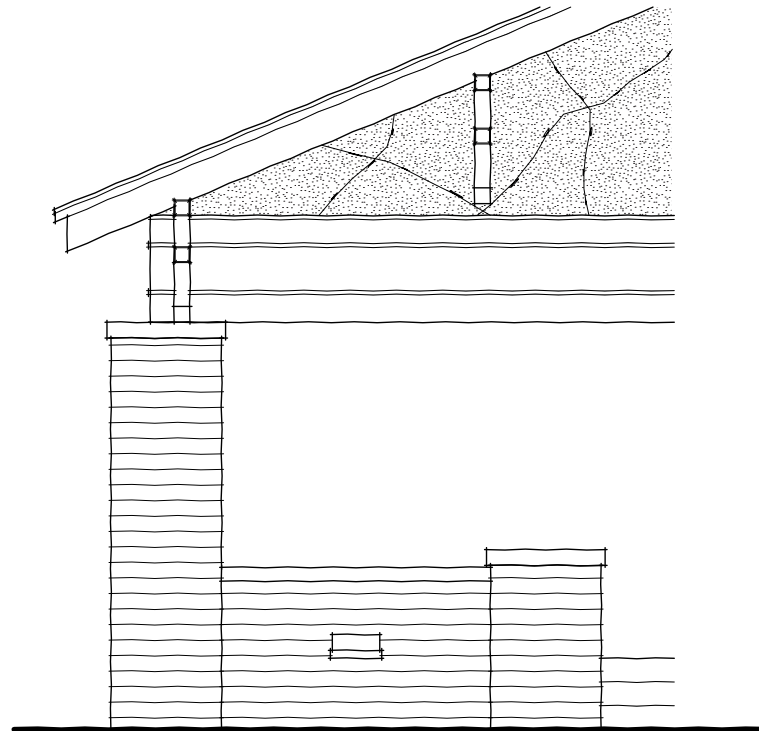


Scale: 1/4"=1'-0"

Craftsman Bungalow

Porches

- Roof construction consists of exposed rafters and rafter tails with decorative brackets projecting from the stucco gable resting on a wood cased beam.
- Porch features consist of solid, massive brick piers, columns, and railings with cast stone copings.
- Through wall scuppers are utilized at the solid brick railings to allow water to drain from the porch.



Scale: 1/4"=1'-0"